

Station Master's House



THE TEAM

Client

Mallon & McCormick
Solicitors

Architect

McGurk Architects

Quantity Surveyor

Diamond Surveyors

Civil & Structural Engineer

Ivan Scott Associates

Mechanical

PR Plumbing and Heating

Electrical

Kieran Glackin

Glazing

Top Glass Specialist
Glass Solutions

Main Contractor

P&K McKaigue Ltd

Photographer

Richard Trainor /
Mark Davidson





The restoration of the Station Master's House in Maghera, County Derry involved the adaptation of a regionally significant Grade B1 listed building into new offices for Mallon McCormick Solicitors.

McGurk Architects' design involved the restoration of the building's primary architectural features and the assiduous integration of the beautifully detailed 'porte cochère' platform and waiting area to provide a new functional modern office space that engages with the building's historical use.

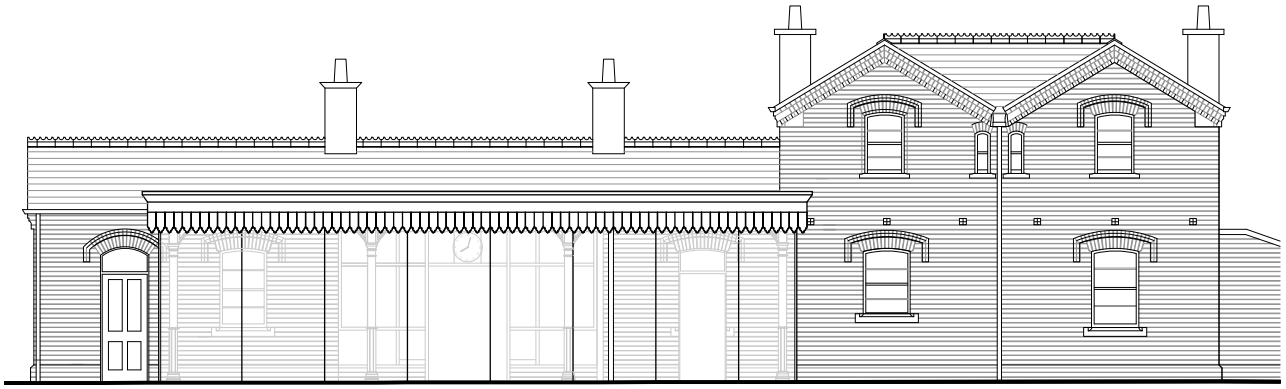
Commissioned in January 2015, the practice researched the building's listing using the local library's archive material, the Ulster Architectural Heritage Society and by finding out about similar contemporary train stations that were constructed in the late 19th Century.

The original property was a single storey detached building of solid brick construction and flat roofed canopy extending to the front of the premises, where the old platform was located next to the railway line, and dates circa 1880. A two storey side extension with a dual pitched roof was added shortly after this as evident in photographs which are dated 1937. The building showcases a range of intricate brick detailing; the main brick coursing pattern is a 'common bond'

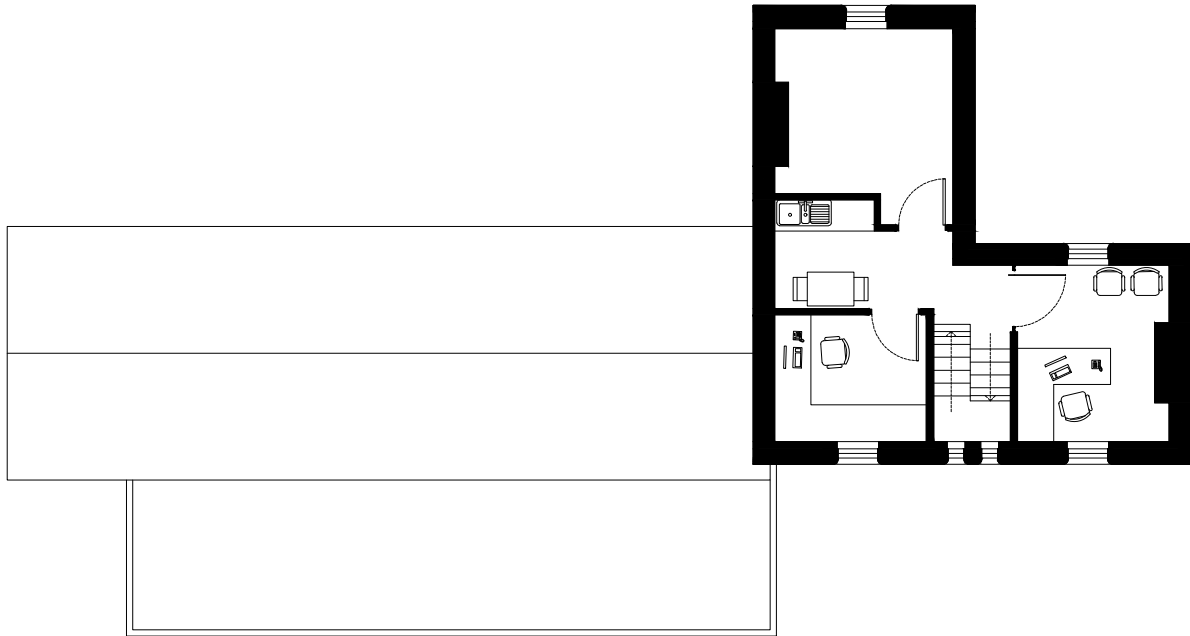
(sometimes referred to as American bond) with a two course head of distinctive blue banded brick. The eaves are detailed with a corbelled saw-tooth arrangement and a quarter circle concave detail whilst the windows and door jambs also have quarter circle convex jamb and head details, brick hood and segmental arch defined in a yellow brick. The building was listed in 1994 and given a grade B1 status due to both its historical and architectural interest.

Clients working with historic buildings should be aware that they always come with an inherent risk. A project which may at first appear straight forward can often unveil a number

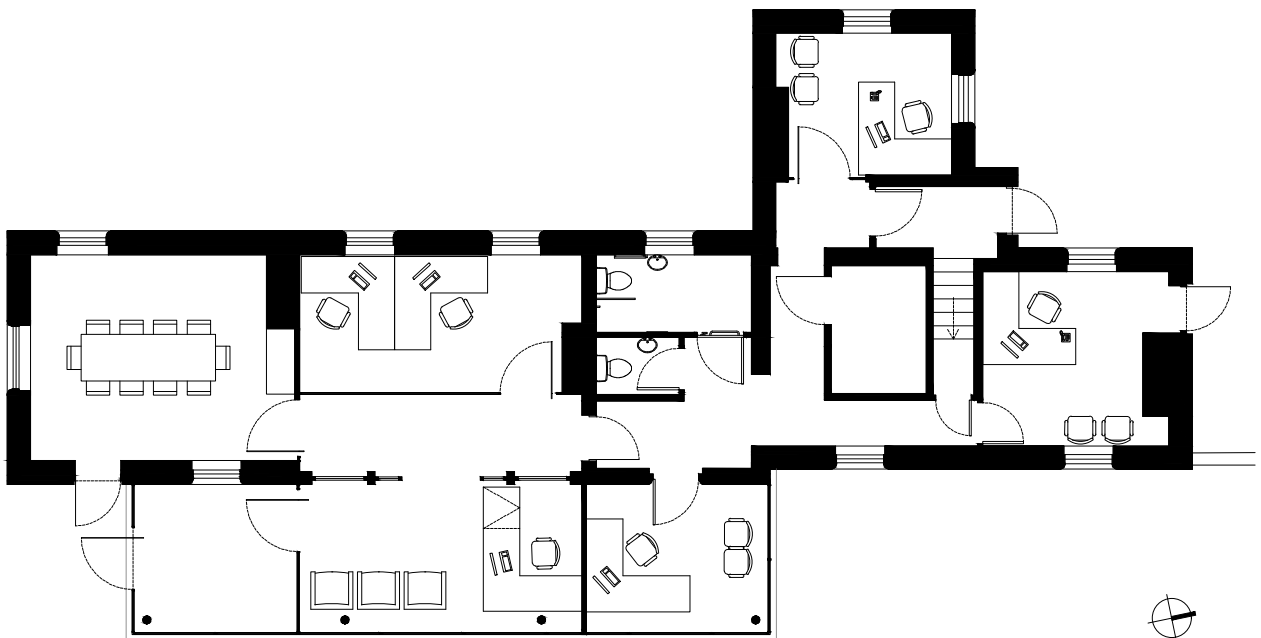




Proposed Front Elevation



Proposed First Floor Plan



Proposed Ground Floor Plan





of ‘surprises’ which can substantially increase the scope of work and cost. Having lain derelict for several years, a detailed survey of the Station House revealed several items for concern; outbreaks of dry rot, decayed structural timber, woodworm and rising damp to name a few. Specialist sub-contractors were engaged to treat the damp, dry rot and all sources of moisture which were identified were eliminated and timbers that were no longer fit for purpose replaced or spliced.

The traditional timber sliding sash windows were retained and refurbished to their original state. Brick was cleaned and re-pointed with lime mortar. The existing Bangor blue roof slates were carefully removed to allow for new roofing felt and replacement joists, before being reinstated. Specialist suppliers were sourced to ensure any replacement items were authentic. Advice was sought from the Ulster Architectural Heritage Society on how to utilise traditional building skills and traditional design.

The completed design encloses the existing platform canopy, allowing occupation of this area and provision of additional internal space for the client, whilst defining the entrance to the building on the new approach from Station Road. This was successfully achieved with a structural glazing “wrap” which ameliorates an enervated waiting platform into a modern, functional reception waiting space for the office that is synonymous with its historical usage. The frameless glazing system reveals the ornate engraved cast iron support columns and the original brick building behind.

Whilst the detailing of the polished concrete floor, frameless glazing and Specialist Joinery’s timber clad conference room

are confidently new; they juxtapose with the original features to create a complimentary synthesised relationship between old and new.

Historic buildings narrate our social, economic and environmental past. Having suffered from dereliction, neglect and vandalism, the repair and restoration of this building has brought new life into the Station House, conserving its quondam historic value for years to come whilst supporting a vibrant solicitor’s practice. Much credit must go to P & K McKaigue, the main contractor, for their attention to detail throughout the project and to Joe Mallon the client for his unwavering commitment to ensuring the finished detailing was worthy of such a fine historic building’s refurbishment. ○

Edelle Henry
McGurk Architects

